



 **FIFTH**
CORNER

ELLA OAKS SHOPPING CENTER 2ND GEN. RETAIL & RESTAURANT SPACE FOR LEASE

SWC of Ella Blvd & 34th St | Houston, TX



WWW.BLUEOXGROUP.COM

PROPERTY INFORMATION:

Address: 1737 W 34th St
Houston, TX 77018

Availability: 2nd Gen. Retail: 1,000 SF
2nd Gen. Restaurant: 1,498 SF (with 1,000 SF Patio)

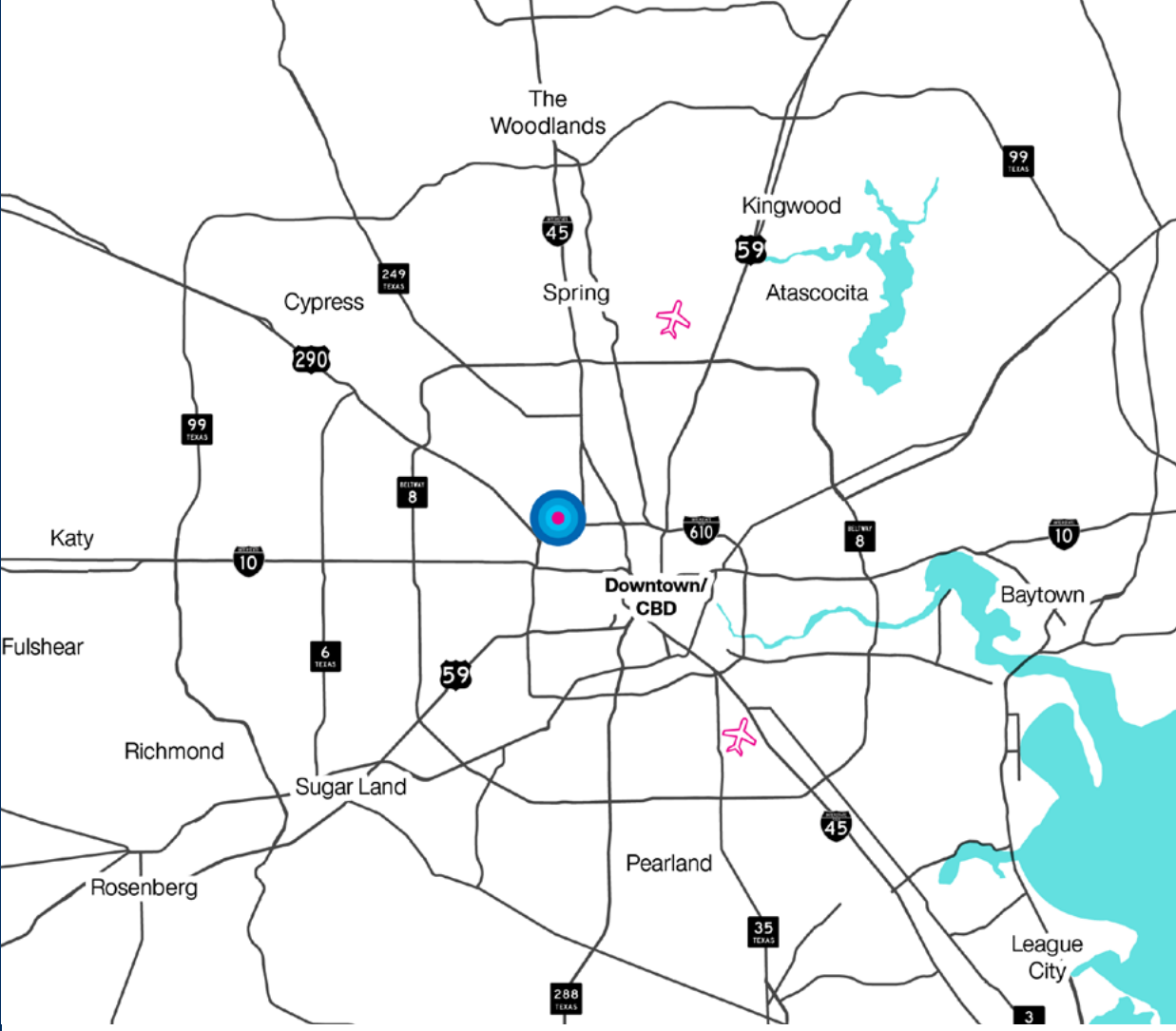
Price: Call For Pricing

HIGHLIGHTS:

- Ella Oaks is located in the high-demand Garden Oaks-Oak Forest neighborhoods.
- The area offers easy access to 610 and is close to eclectic areas such as The Heights.
- This proximity has attracted new residential and commercial development, contributing to recent population densification.
- An example of this development is Hines' new 1005 West 34th multifamily project, which has broken ground on 383 units.
- This new development is located a little over half a mile east of Ella Oaks.

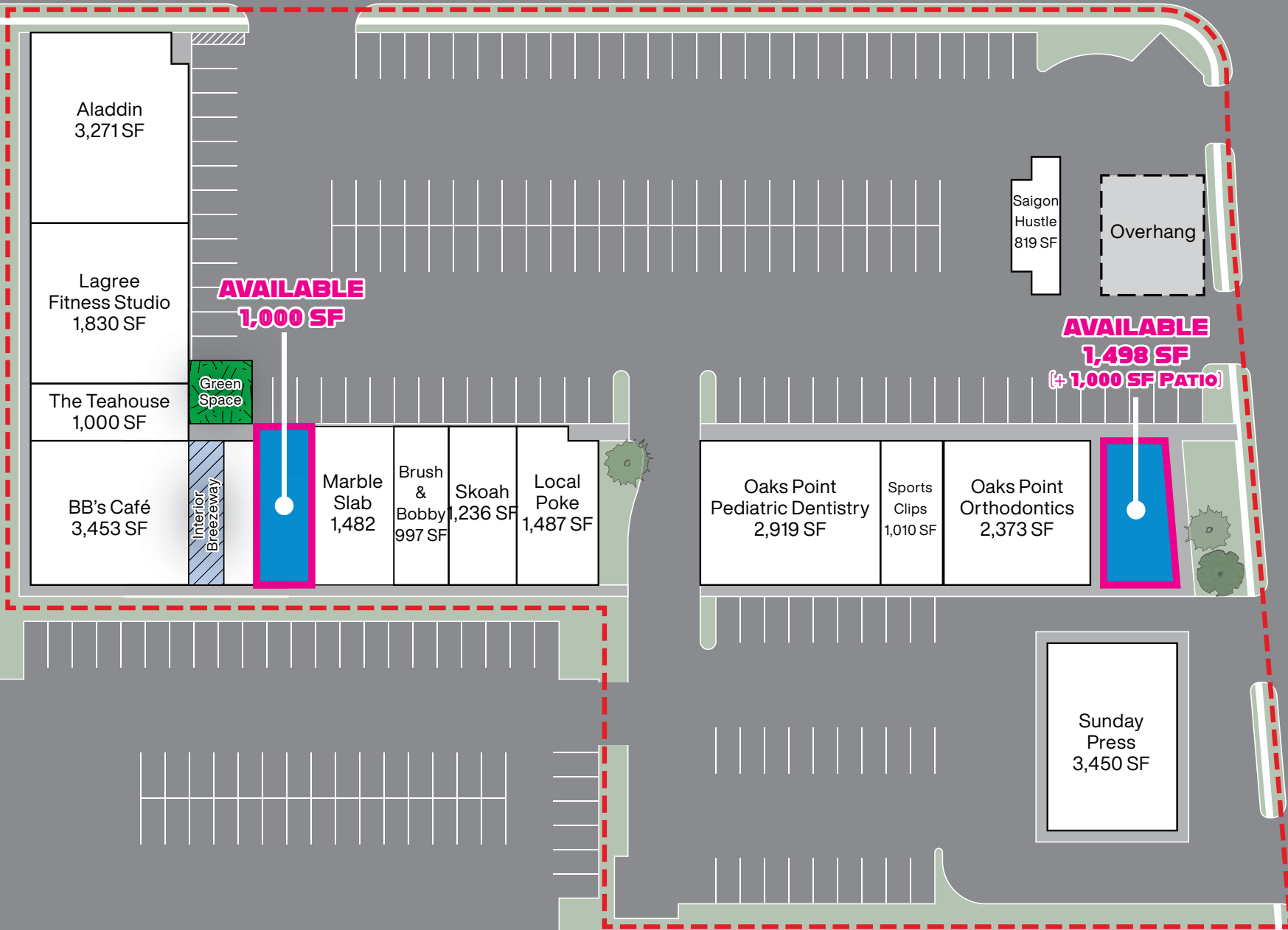
DEMOGRAPHICS:

	1 Mile	3 Miles	5 Miles
Population	15,218	133,762	405,848
Daytime Pop.	31,328	168,143	478,226
Avg HH Income	\$166,414	\$140,379	\$127,884



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WEST 34TH STREET





Oak Forest Park

Judiway St

William Price Distilling
Great Heights Brewing Company
Fusion Confusion on Wheels
Walking Stick Brewing Co - Houston, TX

Miller
KITCHEN & COCKTAILS

SITE

Waltrip High School

GRAVITY ONE

GATLIN'S BBQ

PRIVATE MINI STORAGE

SHERWIN WILLIAMS

Big Tex
Self Storage

Golden Wok
Jellyfish
SUSHI & GRILL

Golf Dr

Judiway St

Oak Forest Dr

Ella Blvd

Couch St

34th St

11,924 VPD ('22)

34th St

12,615 VPD ('22)

Avenue on 34th

14,245 VPD ('22)

Future Multi-Family

HAND-STONE
TEX-MEX
Local 5
TABLE
FAS
CITY PLANT

Dayita

Oak Forest Academy
NDX Stern Empire

Local Pothé
BBQ

POPEYES

M

BR

Cane's

31,544 VPD ('22)

BUBBLE EGG

jiffy lube

Papa John's

BURGER KING

THE HALAL GUYS

KFC

UPS

LES BÂGET

COFFEE ROASTERS

tropical CAFE

214,687 VPD ('22)

610

CVS

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Information About Brokerage Services

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- A BROKER is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A SALES AGENT must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Blue Ox Brokerage, LLC

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Buyer/Tenant/Seller/Landlord Initials

Date

Regulated by the
Texas Real Estate Commission

Information available at www.trec.texas.gov
IABS 1-0



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